

**B Street South  
222 E. 4<sup>th</sup> Ave., San Mateo  
Affordable Housing Plan  
11.11.22**

**1) Project Description**

B Street South is a mixed-use project comprised of +/- 18,000 SF of ground floor retail, +/- 105,000 SF of office, and 10 workforce housing units at the 80% AMI level. The project will provide 2 levels of below grade basement parking. B Street South is 5 stories tall and spans across a full city block in Downtown San Mateo within a 5-minute walk to the Caltrain Station.

**2) City of San Mateo Commercial Linkage Fee and Alternatives to Payment of Affordable Housing Commercial Fee**

The commercial linkage fee obligation is approximately \$2,848,305 or 8 low-income units (rounded up from 7.58 units). The project is proposing 10 low-income units which will exceed the number of required units

**3) Description of Onsite Units**

- Unit Mix: 8 1BRs; 2 studios
- Affordability Levels: 80% AMI
- Provided Amenities – including parking:
  - Dedicated lobby
  - Dedicated Bike Room
  - Dedicated Laundry Room
  - Dedicated Roof Deck
- Floor plans and unit layout for affordable housing units
  - See attached

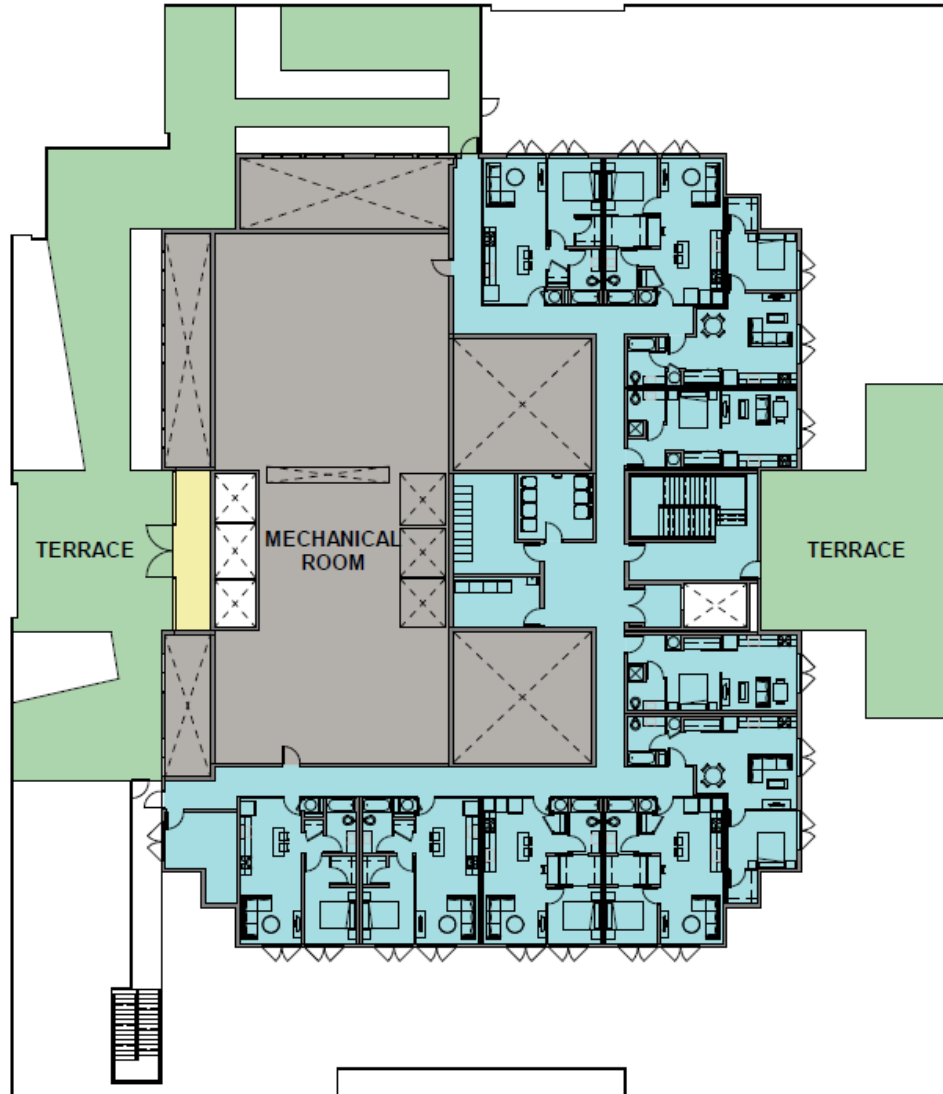
**4) Construction Schedule** (*timing of the affordable housing units in relation to the non-residential portion*)

The affordable housing units will be constructed at the same time as the non-residential portion of the project

**5) Acknowledgement of Compliance with 23.61.050**

The project will comply with 23.61.050 of the San Mateo Municipal Code

Residential Floor Plan Layout in Blue Below



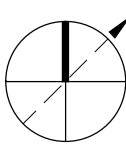
ISSUES AND REVISIONS

No.	Date	Description
A	10/21/20	Pre-App Resubmittal

PROJECT NUMBER  
16010.00

SHEET TITLE  
RESIDENTIAL UNIT PLANS

SCALE  
1/4" = 1'-0"



SHEET NUMBER

A-210

SHEET NOTES

Residential Elevator

10' height  
Stainless steel cab

Trash Room

Polish Concrete  
FRP wall finish w/bumper rail  
Floor Drain  
Card Reader  
A lot of airflow/scent machine

Bike Room

Freestanding double bike racks  
Polish Concrete  
Painted plywood wall finish  
Card Reader

Laundry room

2 Washers & 2 Dryers  
Polished concrete  
Painted gyp board  
Floor drain  
Sensors in the pan with valve shut offs  
Casework/secured lockers to store detergent  
Card Reader

Hallway

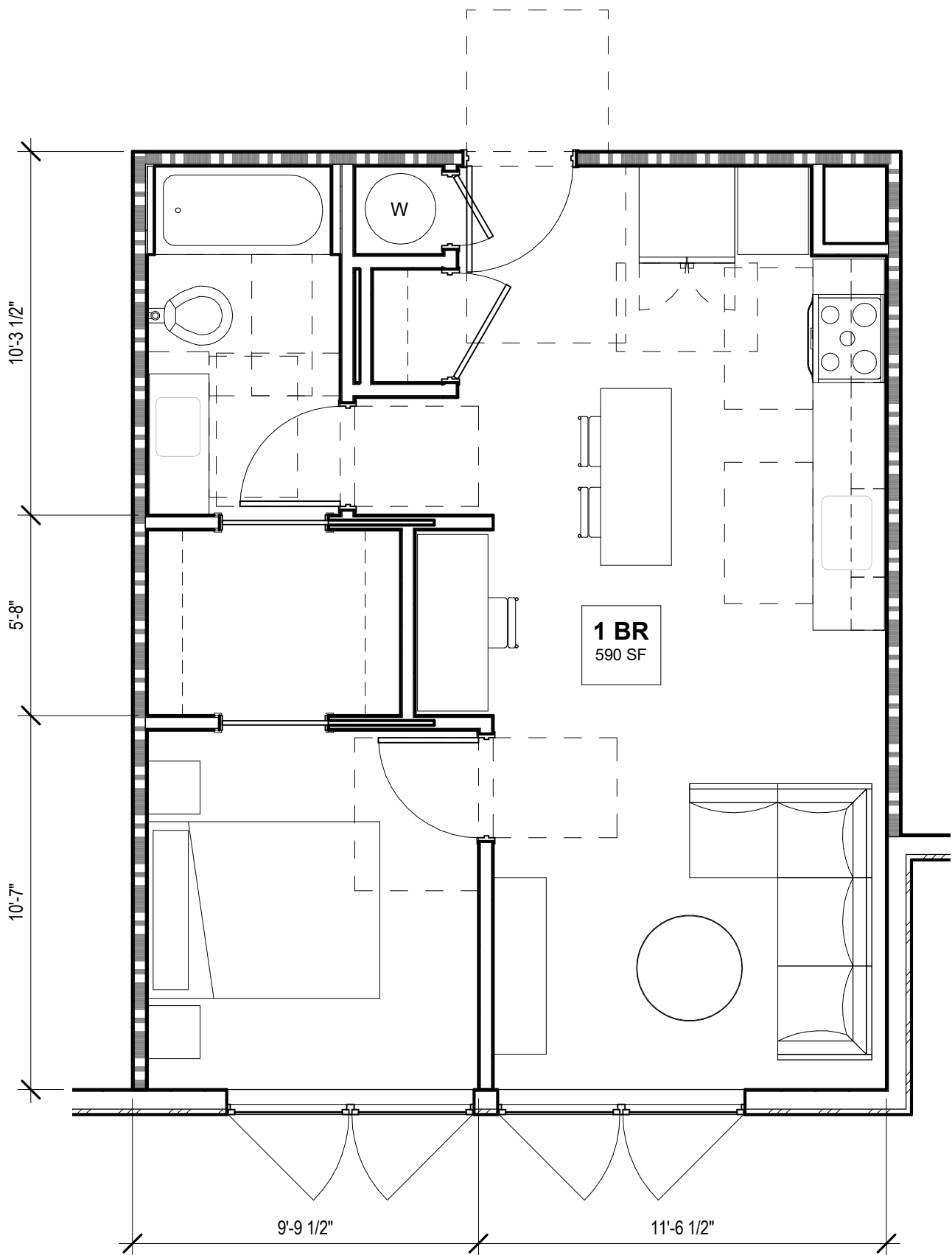
Wall finish (orange peel)  
Carpet tile  
LED downlight down center of corridor  
Stair #1 should be secured (Card Reader) into both apartment  
corridor and on to the Terrace

Units - Kitchen

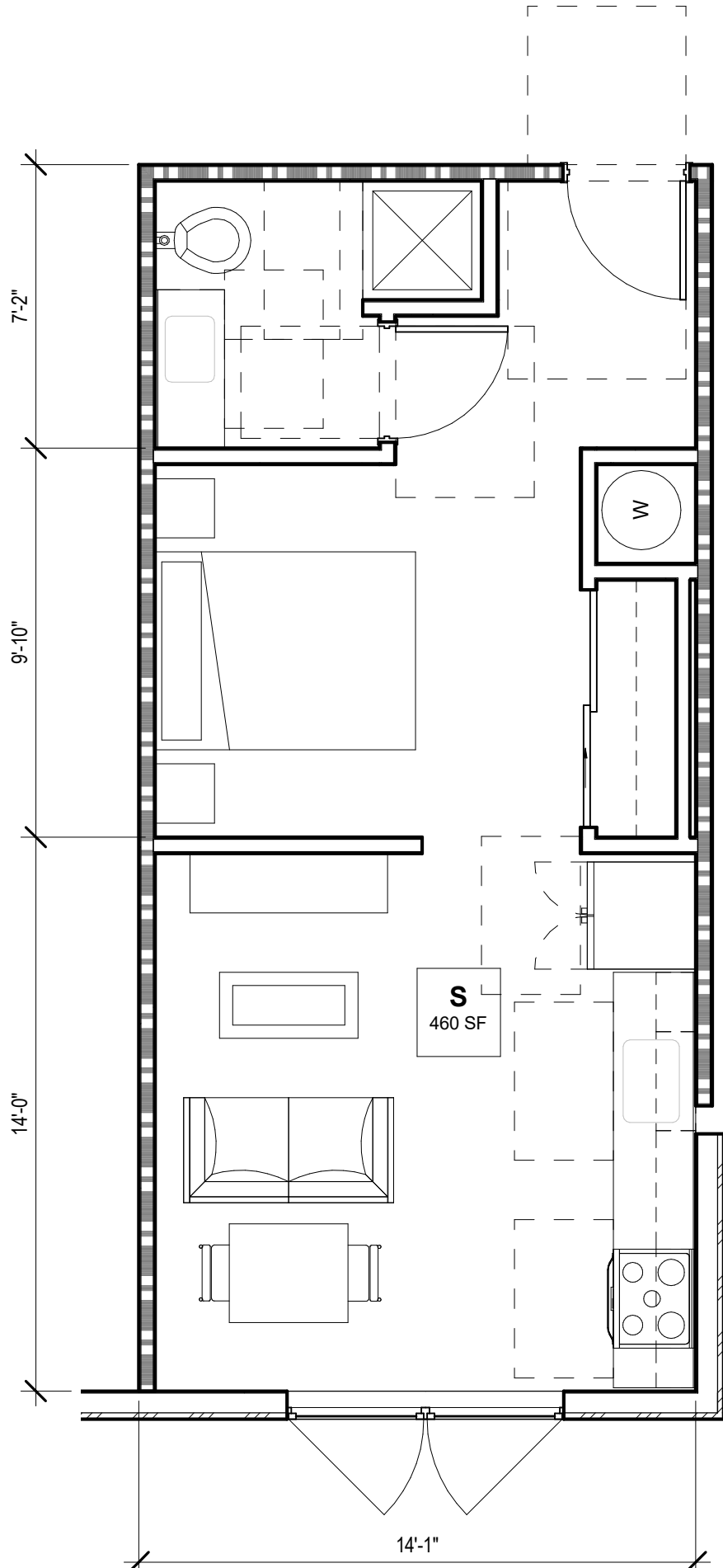
Plumbing fixtures -Simmons or Koehler  
Appliances -Whirlpool or GE  
LVT throughout entire unit  
Drywall/orange peel  
Solid surface (or quartz) countertop with (4-6") backsplash  
3cm peninsula countertop with 10"overhang  
Drywall/orange peel  
Undercounter cabinet lights

Units - Bathrooms

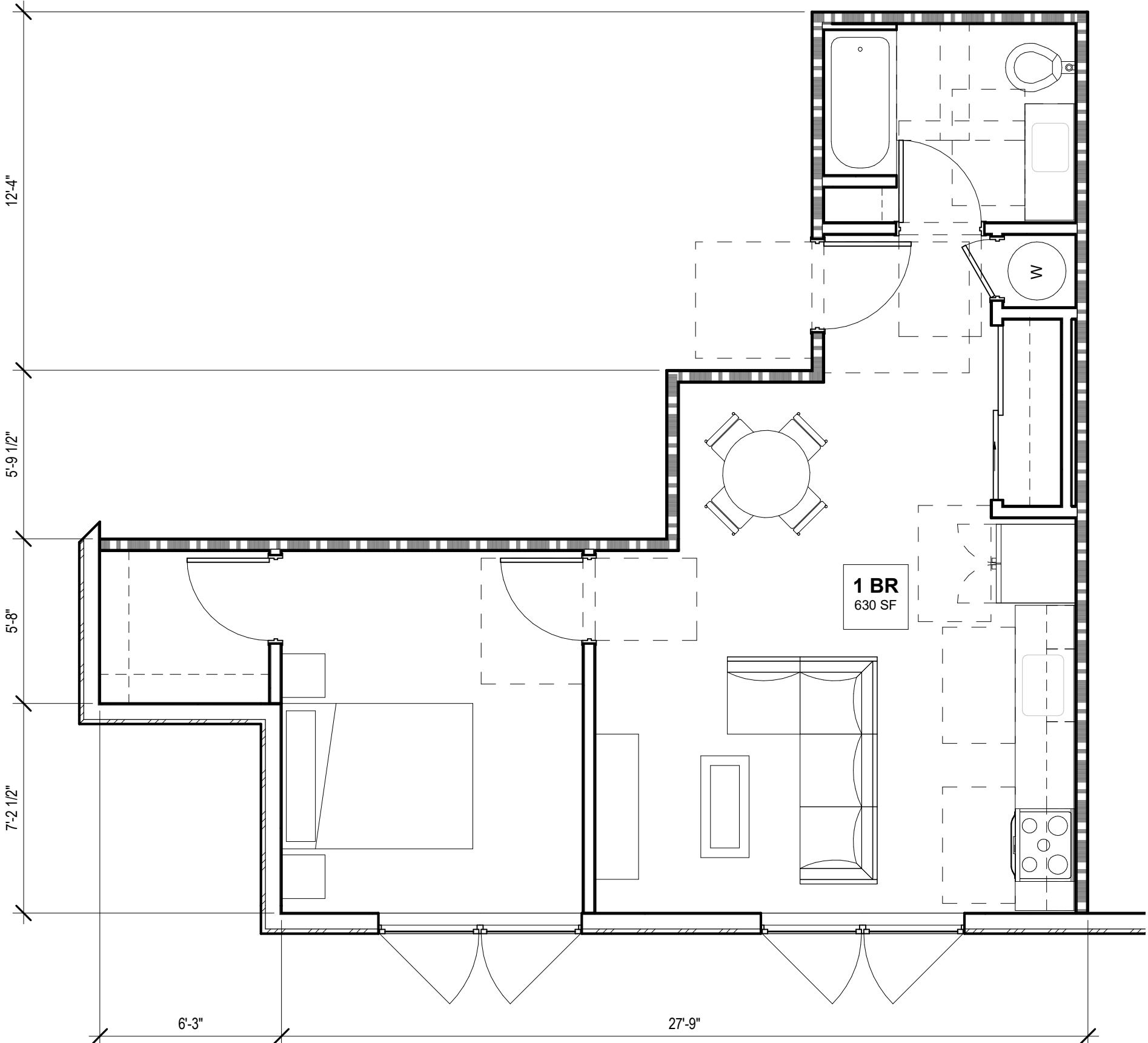
Plumbing fixtures -Simmons or Koehler  
LVT flooring  
Drywall/orange peel  
Solid surface (or quartz) countertop with (4-6") backsplash  
Fan light over shower/ sconces by sink  
Tub/shower inserts



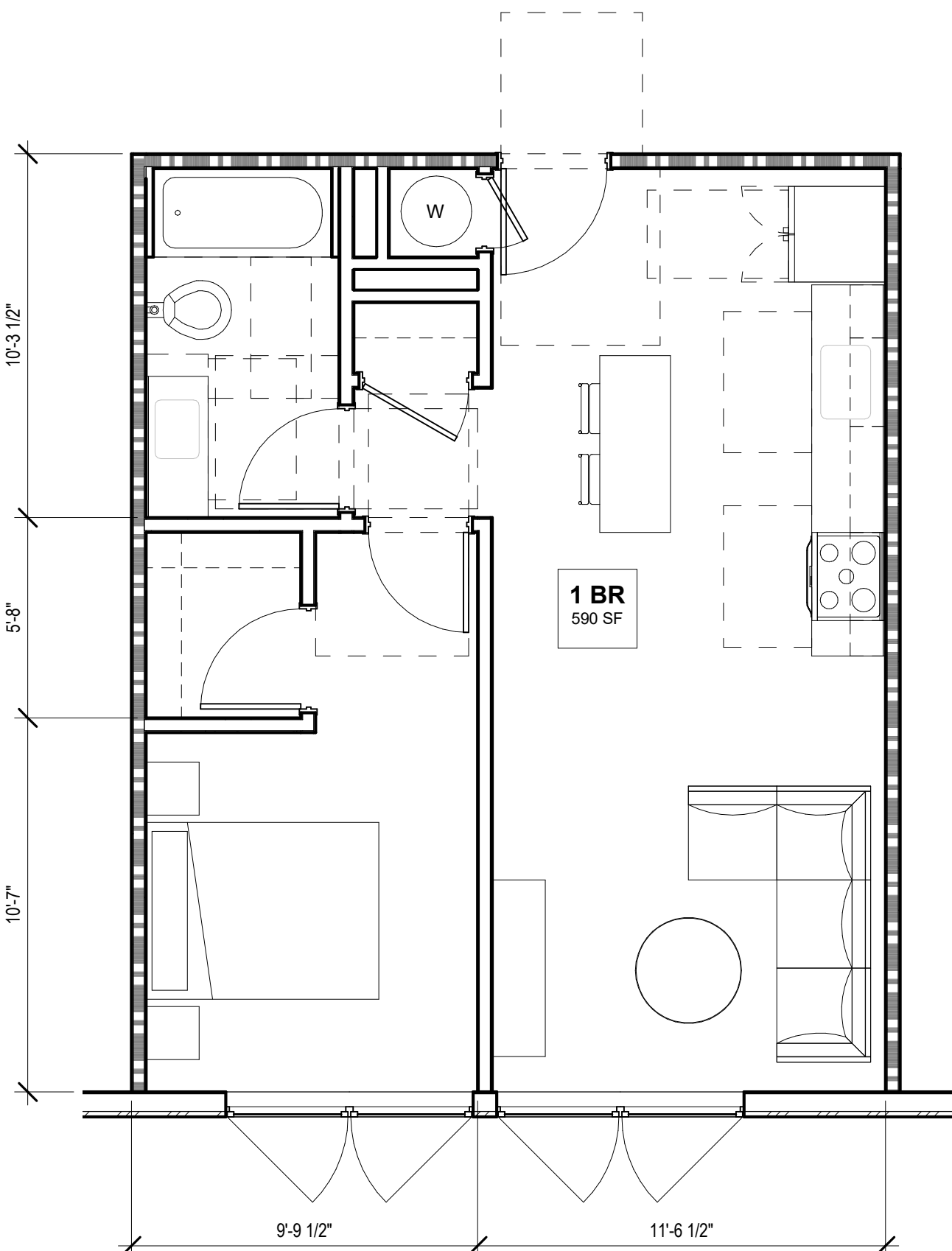
② 1-BED TYPE A (OPTION 1)  
1/4" = 1'-0"



④ STUDIO  
1/4" = 1'-0"



③ 1-BED TYPE B  
1/4" = 1'-0"



① 1-BED TYPE A (OPTION 2)  
1/4" = 1'-0"